

Notice of Public Meeting

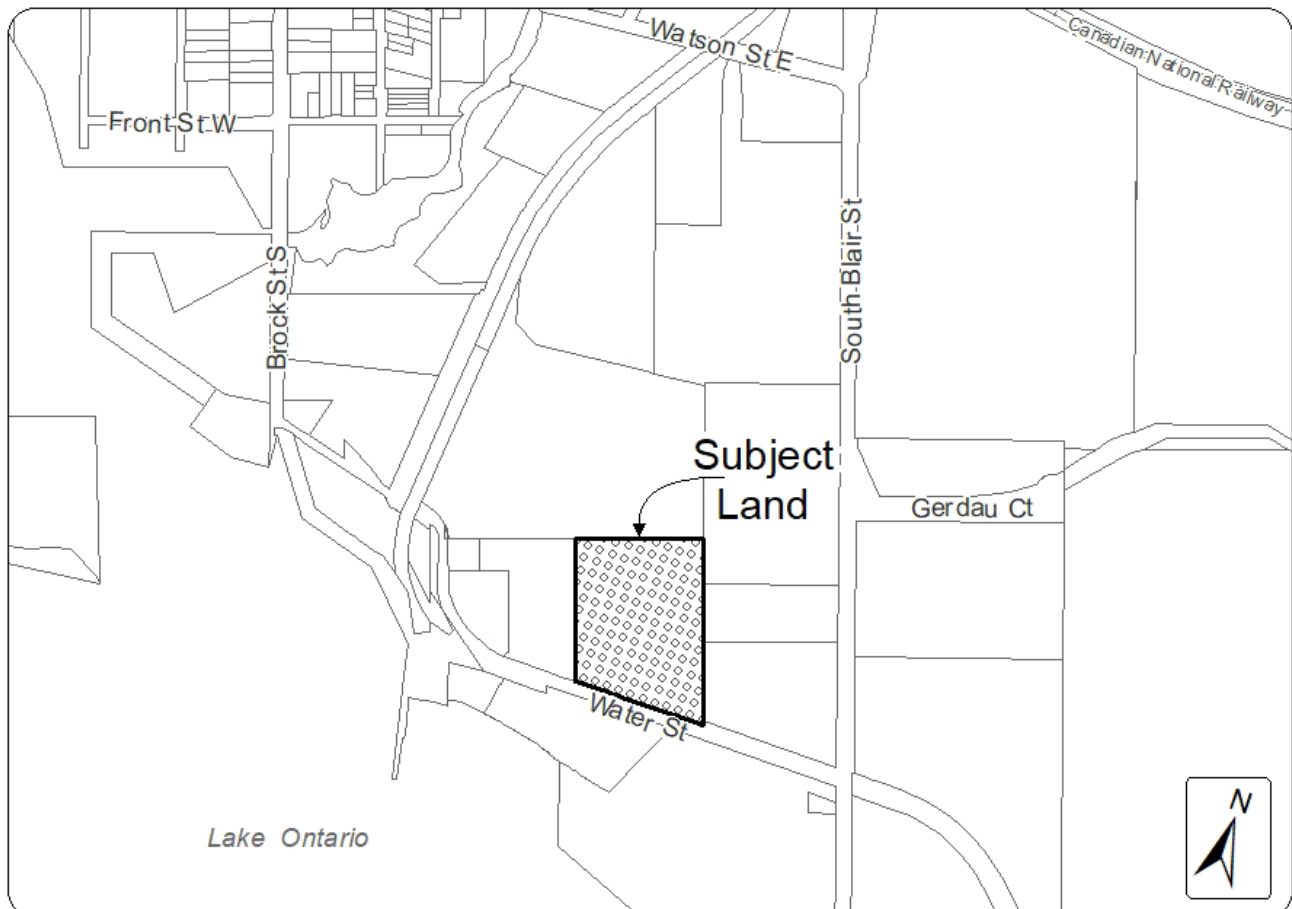
Planning and Development Department

Meeting Date: Monday February 10, 2025
Meeting Time: 7:00 p.m. (Application will be heard at the discretion of the Chair)
Meeting Location: Council Chambers, Whitby Municipal Building
575 Rossland Road East
Whitby, Ontario
File Number(s): DEV-01-25 (Z-01-25)

A Statutory Public Meeting under the Planning Act will be held to consider the application as submitted by Canada Christian College And School Of Graduate Theological Studies.

The applicant has submitted all information and fees required to consider the application, in accordance with Section 34 of the Planning Act R.S.O 1990 and Ontario Regulation 545/06.

The subject land for which the application has been filed is located within 300 Water Street and is illustrated on the map below.



Purpose of the Public Meeting

The purpose of this meeting is to provide adequate information to the public and to permit interested persons and agencies the opportunity to make representation in respect of this application. A brief overview will be provided. In accordance with the Town's Procedure By-law, up to 5 minutes will be provided to individuals and the applicant or their representatives to comment on the application. If you are unable to attend the meeting, your representation can be filed in writing by mail, email, or personal delivery to reach the Town of Whitby Planning and Development Department prior to Council's final decision on the application.

For additional information relating to the application, including information about your appeal rights, please contact the Planning and Development Department, Whitby Municipal Building, 575 Rossland Road East, Whitby, ON, L1N 2M8, during regular working hours, Monday to Friday, 8:30 a.m. to 4:30 p.m. You may contact the Planning and Development Department at 905.430.4306 or by email planning@whitby.ca.

The application before the Town is described below as shown on the attached plan.

Meeting Format

This meeting will be held in a hybrid in-person and virtual format and will be available for viewing through the Town's live stream feed at www.whitby.ca/livestream while the meeting is in progress.

Should you wish to provide comments on this matter, you may submit written correspondence and/or a delegation request form.

Written correspondence can be submitted by email to the Office of the Town Clerk at clerk@whitby.ca by noon on the day of the meeting. Written correspondence must include your full name, address and file number referenced above.

For persons who would like to speak virtually during the Public Meetings, please submit a [Delegation Request Form](#) online to the Office of the Town Clerk by 8 a.m. on the day of the meeting. **Those wishing to speak in-person** are also encouraged to submit a [Delegation Request Form](#), but are not required to pre-register in order to speak at the Public Meetings.

Should you be unable to access a computer, please call 905.430.4315 to speak with a Staff Member in the Office of the Town Clerk.

Application

Proposed Temporary Zoning By-Law Amendment to Zoning By-law 2585 (Z-01-25)

The purpose of the **Temporary Zoning By-law Amendment** is to permit a private elementary and secondary school use, as an additional permitted use.

Public Advisory: Whitby Council is the approval authority of Zoning By-law Amendments passed by the Town of Whitby. If a specified person or public body would otherwise have an ability to appeal the decision of Whitby Council to the Ontario Land Tribunal but the specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body is not entitled to appeal the decision. If a specified person or public body does not make oral submissions at a public meeting, or make written submissions to the Town of Whitby before the by-law is passed, the specified person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Town of Whitby on the proposed Zoning By-law Amendment you must make a written request to the Town Clerk, Town of Whitby, 575 Rossland Road East, Whitby ON, L1N 2M8. Personal information from those that make either an oral or written submission on the subject application is collected under the authority of the Planning Act R.S.O. 1990 and the applicable implementing Ontario Regulation, and will become part of the public record for this application. Questions about the collection of personal information should be directed to the Clerk's Office, Town of Whitby, 575 Rossland Road East, Whitby, ON, L1N 2M8, by email to clerk@whitby.ca or 905.430.4315.

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Roger Saunders, M.C.I.P., R.P.P.
Commissioner, Planning and Development
Corporation of the Town of Whitby

CANADA CHRISTIAN COLLEGE INTERIOR ALTERATION

300 WATER STREET, WHITBY, ONTARIO

GENERAL NOTES

- THE CONTRACTOR SHALL CARRY OUT ALL WORK IN ACCORDANCE WITH THE STIPULATIONS OF OWNER/CONTRACTOR AGREEMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE CURRENT EDITION.
- THE CONTRACTOR SHALL EXAMINE ALL DOCUMENTS TO ESTABLISH THE FULL SCOPE OF WORK, VISIT THE SITE AND CAREFULLY ESTABLISH ALL CONDITIONS AFFECTING ALL ASPECTS OF THE WORK. INCLUDE ALL COSTS IN THE TENDER PRICES.
- THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES AND OMISSIONS IN THE DOCUMENTS WHICH COULD AFFECT THE COST OF THE WORK BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION SHALL BE CARRIED OUT IN A MANNER TO ENSURE THE MINIMUM DISRUPTION TO OTHER TENANTS.
- WHEN THE WORK IS TOTALLY COMPLETE, THE CONTRACTOR SHALL LEAVE THE WORK CLEAN AND SUITABLE FOR OCCUPANCY BY THE OWNER/TENANT.
- PROVIDE SHOP DRAWINGS OF GUARDRAILS, HANDRAILS, STRUCTURAL STEEL AND OTHERS COMPONENTS AS REQUESTED BY CONSULTANTS AND BUILDING DEPARTMENT.

CONSTRUCTION NOTES

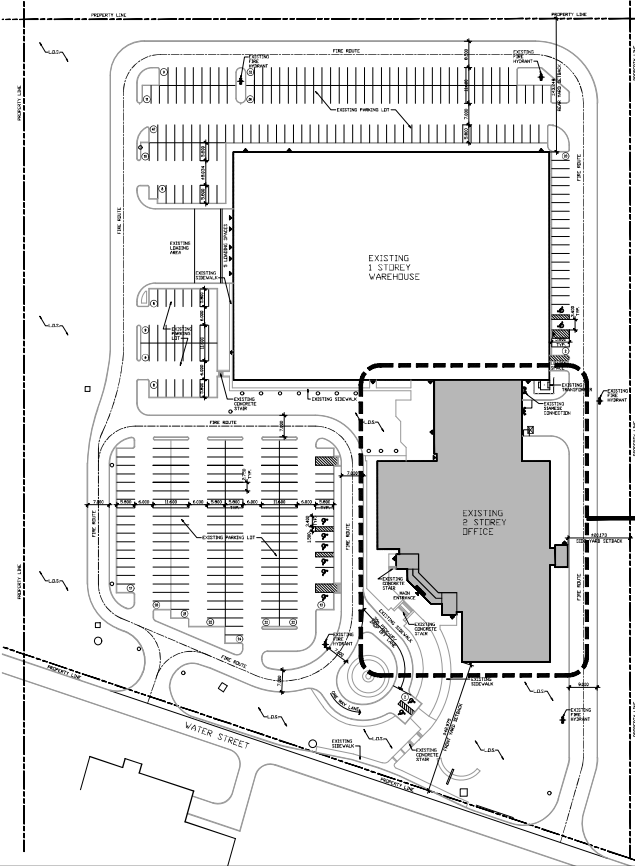
- SEAL ALL PENETRATIONS WITH FIRE STOP CAULKING THROUGH FIRE SEPARATIONS TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
- PROVIDE DOUBLE STUDS AT ALL DOOR FRAMES AND PROVIDE ALL NECESSARY WOOD BLOCKING AT ALL WINDOWS AND DOORS.
- ALL GYPSUM BOARD SURFACES ARE TO BE TAPED, FILED, SANDED WITH PAINT FINISH
- PROVIDE CONTINUOUS SOLID BLOCKING IN STEEL STUDS PRIOR TO INSTALLATION OF G.W.B. AT ALL SLAT WALL MOUNTING LOCATIONS, CONFIRM LOCATIONS WITH OWNER.
- ALL PLYWOOD AND WOOD BLOCKING USED AT GRADE OR AS PART OF THE ROOF CONSTRUCTION SHALL BE PRESSURE-TREATED.
- POLYETHYLENE VAPOUR BARRIER TO BE TAPED CONTINUOUSLY AT ALL JOINTS TO ENSURE A CONTINUOUS SEAL.
- PROVIDE DEFLECTION DETAIL AT ALL PARTITIONS WHICH CONTINUE TO THE U/S OF STRUCTURE.
- PROVIDE THERMAL INSULATION IN AREAS THAT VOIDS ARE FOUND THAT WOULD COMPROMISE THE R-VALUE OF THE GIVEN SYSTEM.

DEMOLITION NOTES

- REMOVE EXISTING BUILDING MATERIALS ON SITE AS REQUIRED TO ERECT NEW CONSTRUCTION. SEE STRUCTURAL DWGS. FOR SITE DEMOLITION AND PREPARATION WORK.
- CONTRACTOR TO COORDINATE THE DEMOLITION WORK WITH ALL DISCIPLINES AND SUBCONTRACTORS IN ORDER TO MINIMIZE DISRUPTION TO THE ON GOING BUSINESSES IN THE AREA.
- TERMINATE AND CAP ALL PIPES, WIRING, CONDUIT AND FITTINGS AS REQUIRED. ARRANGE FOR AND/OR DISCONNECT ALL BUILDING SERVICES PRIOR TO REMOVAL OF PIPES OR WIRING.
- EXISTING CONCRETE FLOOR SLAB TO BE FILLED AND GROUND SMOOTH AS REQUIRED.

Ontario Building Code Data Matrix Part 11 – Revision of Existing Building		Building Code Reference 1
11.00 Building Code Version	Q.Reg. 332/12 Last Amendment Q.Reg. 191/14	
11.01 Project Type	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use Description: Interior Alteration to Part of Ground Floor and Change of Use of Renovated Area From Group D (Office) to Group A-2 Assembly Use (Classrooms & Instructor Offices)	A) 1.1.2.
11.02 Major Occupancy Classification	Major Occupancy Group A-2 Use Classroom & Instructor Offices	3.1.2.1.(1)
11.03 Superimposed Major Occupancies	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	3.2.2.7.
11.04 Building Area (m ²)	Description: Existing New Total Existing to Remain 11,465 0 11,465	A) 1.4.1.2.
11.05 Building Height	2 Storeys above grade (INCL. MEZZANINE) 9.10 (m) Above grade 0 Storeys below grade	A) 1.4.1.2. & 3.2.1.1.
11.06 Number of Streets/Firefighter access	2 street(s)	3.2.2.10. & 3.2.2.11.
11.07 Building Size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.-H)
11.08 Existing Building Classification	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable Group A-2 Assembly Construction Index: 7 Hazard Index: 5 Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1.1. T 11.2.1.1A T 11.2.1.1B to T 4.2.1.(3), 5.2.2.1.(2)
11.09 Renovation type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	11.3.3.1, 11.3.3.2
11.10 Occupant Load	Floor Level Occupancy Type Based On Occupant Load (Persons) Ground Floor Assembly (A-2) Design 170	3.1.1.7.
11.11 Plumbing Fixture Requirements	Ratio: MF = 1/1 Except as otherwise noted Floor Level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided Ground Floor 75M & 75F 3,74.7(14) 3M + 3F 3 Male + 4 Female Based on 3.7.4.3.(14) One per 30 Male = 3 M One per 26 Female = 3 F	3.7.4.
11.12 Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	11.3.3.2.(2)
11.13 Reduction in Performance Level	Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes By increase in occupant load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Seepage systems: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Extension of combustible construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14 Compensating Construction:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Increase in occupant load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Seepage systems: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Extension of combustible construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15 Compliance Alternatives Proposed:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	11.5.1.
11.16 Notes:		11.5.1.

All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.



SITE STATISTICS:

- ADDRESS: 300 WATER STREET, WHITBY, ONTARIO
- ZONING: M-4
- LOT AREA: 42,342 SQ. M.
- DETAILED FLOOR AREA (FROM A-2): 4,574.5 SQ. M.
2. GROUND FLOOR (PRIVATE TOWN USE): 6,000 SQ. M.
3. SECOND FLOOR (PRIVATE TOWN USE): 4,264.1 SQ. M.
4. MEZZANINE (PRIVATE TOWN USE): 2,002.2 SQ. M.
TOTAL AREA = 16,840.8 SQ. M.
- PARKING PROVIDED: 1. DRIVE USE: 1/20 SQ. M. = 102 SPACES
2. LANDSCAPE USE: 1/200 SQ. M. = 49 SPACES
3. PRIVATE DRIVE USE: 1/200 SQ. M. = 49 SPACES
4. PUBLIC DRIVE USE: 1/200 SQ. M. = 49 SPACES
TOTAL PARKING PROVIDED = 249 SPACES
REQUIRED BY ZONING: 200 SPACES
EXCESSIVE TO ZONING: 49 SPACES
- LOADING PROVIDED = 4 SPACES
LOADING REQUIRED = 4 SPACES
- BUILDING HEIGHT = 15.0M (AFTER ROOF RISE)
15.0M (AFTER ROOF RISE)
- LANDSCAPED OPEN SPACE = 15,500.2 SQ. M. = 36.6% OF LOT AREA

DATE	REV.	DESCRIPTION	ISSUED FOR	BY
DEC. 17/24	3	ISSUED FOR TEMPORARY USE PERMIT	SHT	
DEC. 12/24	2	RE-ISSUED FOR PERMIT	SHT	
AUG. 07/24	1	ISSUED FOR PERMIT	SHT	

REVISION RECORD

SEAL: ONTARIO ASSOCIATION OF ARCHITECTS
RAI ARCHITECT INC.
115 684
300 WATER STREET
WHITBY, ONTARIO
L1B 6B4
905-239-0600
info@raichitect.com

NORTH ARROW

RAI Architect Inc.
Suite 104, 92 Church St. S.
Ajax, Ontario
L1S 6B4
905-239-0600
info@raichitect.com

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME REPORTING ANY DISCREPANCIES BEFORE COMMENCING WORK.
LATEST APPROVED DRAWING ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE SCALD.

PROJECT: CANADA CHRISTIAN COLLEGE
INTERIOR ALTERATION
300 WATER ST., WHITBY, ONTARIO

DRAWING TITLE: OBC MATRIX & SITE PLAN
DRAWING No. A1.0

SCALE: AS NOTED
JOB No. 12-24
FILE NAME: 12-24_A1.0_Site Plan
PLOT DATE: 12/17/2024